



ELISENHEIM

NEIGHBOURHOOD LIVING IN THE COUNTRYSIDE

GUIDE PLAN FOR PHYSICAL DEVELOPMENT



DESIGN PRINCIPLES FOR ELISENHEIM ESTATE, PHASE 2 GENERAL RESIDENTIAL UNITS (Rev 1)

The Design Principles document aims to serve as an enabling mechanism for the implementation of the strategic objectives of the Elisenheim Urban Design Framework. It is intended to assist both buyers and architects in such a way that the overall vision of the estate is achieved.



TABLE OF CONTENTS

	1	DOCUMENT SET	3
	2	INTRODUCTION	4
	2.1	OVERALL DESIGN OBJECTIVES	4
	2.2	STAKEHOLDERS	4
	3	PROCESS OVERVIEW	5
	3.1	PROPERTY DEVELOPMENT PROCESS	6
	3.2	DESIGN APPROVAL & CONTROL PROCESS	7
	4	DESIGN GUIDELINES & PRINCIPLES	8
	4.1	GENERAL STRATEGY	8
	4.2	PROFESSIONAL DESIGNERS	8
	4.3	URBAN DESIGN FRAMEWORK	8
	4.4	STANDARDS	8
	4.5	PRESERVATION OF NATURAL FEATURES	8
	4.6	ENTRANCES & ACCESS	8
	4.7	BOUNDARY TREATMENT & SITE DEVELOPMENT	9
	4.8	PLANNING	10
	4.9	SCALE & PROPORTION	11
	4.10	EXTERIOR MATERIAL USE	11
	4.11	COLOUR USE	11
	4.12	LANDSCAPING	11
	5	LOCALITY & SITE DEVELOPMENT CONSTRAINTS	12
	5.1	ERF 2002	13
	5.2	ERF 2003	14
	5.3	ERF 2004	15
	5.4	ERF 2005	16
	5.5	ERF 2006	17
	6	DESIGN CONTROLS	18
	6.1	MUNICIPAL CONTROLS	22
	6.2	DESIGN REVIEW COMMITTEE CONTROLS	23
	7	APPENDIX A:	
		URBAN DESIGN FRAMEWORK	24
	8	APPENDIX B:	
		DOCUMENTS REQUIRED & DESIGN CONTROL CHECKLIST	25



The following documents make up the complete set of design guidelines for the Phase 2

PART A: Abridged Design Principles for Elisenheim Estate, Phase 2

This document was issued to purchasers at the time of purchase in order to inform them of basic objectives of the development and familiarise them with the design controls and constraints that they can expect when developing their properties.

PART B: Design Principles for Elisenheim Estate, Phase 2. Single Residential Stands

This document supersedes Part A and is a detailed elaboration on the principles contained therein.

PART C: Design Principles for Elisenheim Estate, Phase 2. General Residential Stands

This document outlines the design criteria and controls applicable to stands zoned for General Residential development

Recommended Plant List

Elisenheim is not simply another dormitory housing development on the outskirts of Windhoek accommodating commuters to and from the city. It is designed to become an integrated lifestyle village in its own right with the full range of activities and uses that this implies.

2.1 Overall Design Objectives

2.1.1 Dominance of nature

A Namibian sense of place within the beautiful undulating landscape and dramatic setting is ensured by means of an integrated open space system that includes parks and undeveloped primary koppies. The feel of the natural landscape thus brought into the heart of the development is enhanced by superb panoramic views.

2.1.2 Integrated small town

Integrated clusters of social facilities including a village green, church and schools will form the social heart of the development. Provision is also made for shops, recreational facilities and a police station. A hierarchy of streets seeks to accommodate both pedestrians and cars, and includes a system of smaller, pedestrian-dominated routes and a cycle lane.

2.1.3 Innovative architectural opportunities

The Phase 2 Design Principles and Building Controls consciously seek to promote the widest range of innovative architectural opportunities, optimising site topography, orientation and views wherever possible. It also aims at preserving natural features such as rocky outcrops and vegetation.

Intending to be informative rather than restrictive, the Design Principles aim to create a legible neighbourhood that conveys a sense of place and community whilst aiding the development of the streetscape and the notion of “eyes on the street”, as well as enhancing the open space system.

Owners will be provided with a series of conceptual house prototypes illustrating the interpretation and intent of these design principles. Designed by a selected team of Lifestyle Architects, these conceptual prototypes will be representative of all the various typical Phase 2 site configurations.

Owners will have the option of appointing any of the Lifestyle Architects to develop a preferred prototype further and personalise the design to suit their specific requirements. Those preferring not to make use of a Lifestyle Architect may appoint any architect of their choice registered with the Namibia Council for Architects and Quantity Surveyors.

Each stage of the design process has to be formally approved by the Design Review Committee as per the procedures below.

2.2 Stakeholders

The following stakeholders are instrumental to the development and management of the Elisenheim Estate:

2.2.1 Primary Developer

The primary developer is Trustco Group Holdings Ltd.

2.2.2 Secondary Developer

Developers of Business and General Residential properties within the estate for sale or rental to future users, operators and owners

2.2.3 Homeowners

The buyers and owners of full or sectional title residential properties within the estate

2.2.4 Homeowner's Association

The Elisenheim Owner's Association

2.2.5 Lifestyle Architects

Selected architects that have a thorough understanding of the development and that have been tasked with developing site-specific conceptual prototypes, presently:

- Erich Roeber Architects
- Jan Spruit Architects
- Kerry McNamarra Architects
- Wasserfall Munting Architects
- Ricardo Michaels Architects

The use of a Lifestyle Architect by Homeowners and Secondary Developers is encouraged and incentivised by subsidising the Design Review fees, but is not mandatory.

By using one of the Lifestyle Architects homeowners and Secondary Developers will obtain the services of an architect that is intimately familiar with the Elisenheim Estate development objectives, approval controls and procedures, and who has been involved from the outset in the development thereof. Design Review Committee approval will therefore be considerably faster.

Each of the lifestyle architects has developed a sample concept design (See below) demonstrating their unique approach and interpretation of the guidelines and needs of a typical Elisenheim client. These designs are presented below and on the Elisenheim website adjacent to each other to demonstrate the anticipated spatial development of the typical residential streetscape and may be downloaded free of charge.

2.2.6 Independent Professionals

Any professionally registered architect but not a Lifestyle Architect, and whom a property owner or developer employs

2.2.7 Design Review Committee

A committee of architects tasked with ensuring compliance to the design principles through the application of design controls and a mandatory design approval process, presently Wasserfall Munting Architects: Tel: 061 230 271 admin@wasserfallmunting.com

2.2.8 Local Authority

The City of Windhoek Municipality

3.1 Property Development Process

Land Acquisition (Primary Developer)

Town Planning Processes & Erf Registration

Erven Sales

Infrastructure Development, Phase 1 (Primary Developer):

- Roads
- Stormwater
- Sewer
- Electrical supply
- Water supply
- Streetlighting

Transfer of Infrastructure to City of Windhoek

Transfer of Erven to New Owners

Private Development of Erven (Secondary Developers)

Infrastructure Development, Phase 2 (Primary Developer):

- Sidewalk paving and street parking
- Landscaping & Planting

3.2 Design Approval & Control Process

Inception

- Register project with Design Review Committee
- Appoint Lifestyle or other Architect

Briefing

- Attend briefing meeting (1/month)
- Receive documents & Conceptual House Prototypes

Design concept

- Present Design Concept to Design Review Committee
- Submit requisite documentation records to Design Review Committee
- Obtain Design Review Committee’s comments & approval

Final Design

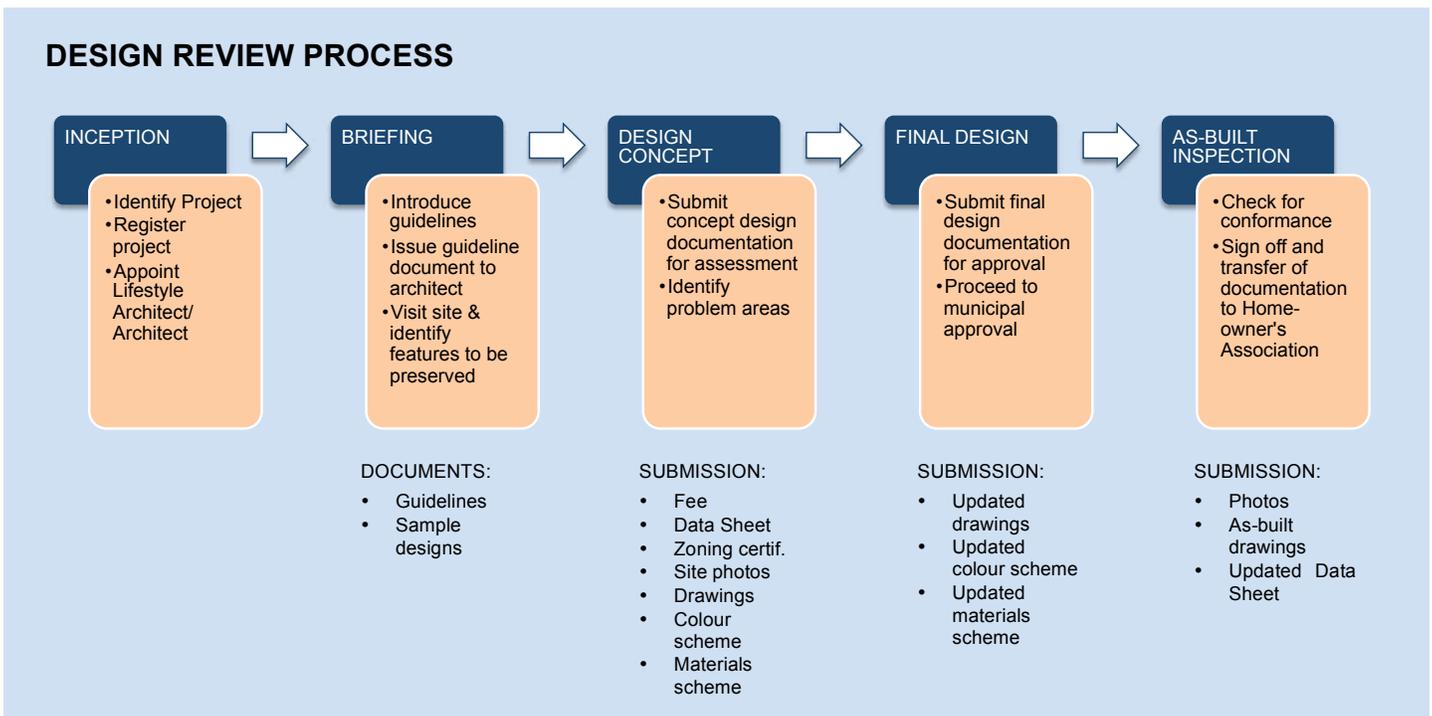
- Submit requisite documentation records to Design Review Committee
- Obtain Design Review Committee’s final approval

As-built Inspection

- Submit requisite documentation records to Design Review Committee
- Sign off by Design Review Committee and transfer of records to Owner’s Association for further action

Design Review Fee

- A fee of N\$ 17,600.00 is payable per submission
- Should a Lifestyle Architect be appointed the above fee will be subsidised in full by the developer



The following guidelines are intended to inform architects and developers about the vision and intentions of the estate developers so that they are adequately equipped to design in accordance with those objectives. They are purposely worded to afford wide interpretation on most points so as to not be overly prescriptive and to encourage innovative and diverse design solutions. There are no stylistic constraints and appropriate contemporary solutions are encouraged.

4.1 General Strategy

All developments within the estate are to enhance, compliment and promote the three overall design objectives listed in 1.1 above. In order to do so without being over prescriptive the controls are structured to focus primarily on the contribution that each development makes to the streetscape and public domain. In the case of General Residential properties the manner in which the built form addresses both the boulevard and the access road is of primary importance

4.2 Professional Designers

Developers must appoint professional architects registered with the Namibian Counsel of Architects and Quantity Surveyors (NCAQS) for the design and contract administration of their developments. Architect practices must be registered with the Namibia Institute of Architects (NIA).

4.3 Urban Design Framework

The public spaces, road sections and land use controls for Elisenheim Estate are informed by the Urban Design Framework (See Appendix A)

4.4 Standards

All developments have to conform to the requirements of the City of Windhoek Town Planning Scheme, the National Building Regulations and associated SABS standards. As with any other development within the Windhoek city limits, the control & approval function for these requirements resides with the City of Windhoek so a Building Permit from them is required before any construction can proceed.

In addition thereto, and as a prerequisite to their approval, all developments within the Elisenheim Lifestyle Village Estate must be reviewed and approved by the Elisenheim Design Review Committee before being submitted to the Windhoek Municipality for approval.

4.5 Preservation of Natural Features

Insofar as it is reasonably possible, natural features such as trees and rock outcrops are to be preserved and integrated into the development of each property in order to preserve the natural character of the development.

4.6 Entrances & Access

All of the General Residential erven are accessed from the suburb side (Road 1). There is no access from the boulevard (Road 7). The design aspects of how access affects the streetscape and public domain is controlled by the Design Review Committee while matters such as Stormwater and runoff are controlled by the City of Windhoek.

4.7 Boundary Treatment & Site Development

Where buildings adjoin the street or public open space special care must be taken to ensure that the manner in which they address these domains contributes positively to them and is in keeping with the intended spatial development of these areas. While the developers have decided to relax controls for development within each property as much as possible each development must positively contribute to the quality of the public domain, in keeping with these guidelines. Three types of boundary treatment are applicable:

4.7.1 Boulevard Boundaries

Intent: *To ensure a positive relation between the development and the street and define the edge of the boulevard (Road 7); to define block corners; to create comfortable living environments with outdoor privacy; to promote surveillance of the boulevard; to promote a range of living choices*

- Applicable unit types: Duplex units with internal stair, Simplex units with external stair.
- 5 m street build-to line except on corners where this may be reduced to 0 m.
- Maximum height: 2 storeys, corner units may be 3 storeys
- Corner units are to provide an architectural solution to the corner to avoid large, featureless end/ gable walls
- Parking on site to be accommodated in a treed parking court
- Access to units to be from the treed parking court
- Balconies overlooking the boulevard are encouraged
- Boundary wall along boulevard is to conform to the standard design

4.7.2 Suburban Street Boundaries

Intent: *To ensure a positive relation between the unit and the street; to retain the scale and character of the internal suburban street (Road 1); to allow for on-site visitor parking; to ensure adequate stormwater runoff*

These guidelines are essentially the same as those for single residential erven in how they address the street.

- Applicable unit types: Attached units, Semi-detached units and/or Free-standing units
- Vehicular access and main entrance from the internal suburban street (Road 1) and not from the treed parking court on site
- 0 m street building line for all street boundaries. There are no built-to constraints.
- Maximum height: 2 storeys
- Garage to be in pre-determined zone of 6m x 12m as set out in the Urban Design guidelines and are to be set back from the main building street façade. There must be sufficient space to accommodate visitors' parking between the garage and the street.
- The garage should not exceed 3.5 meter width with a min 4.5 meter forecourt space for visitors' parking. The building façade must form the boundary with the street but need not be on the Erf boundary. No garden walls and/or fences are permitted along the street edge.

4.7.3 Open Space Boundaries

Intent: *To secure open space; to ensure a positive relation between open space and the adjoining units; to maintain a high standard of public open spaces*

- Applicable unit types: Duplex units with internal stair, Simplex units with external stair.
- 5 m street build-to line except on corners where this may be reduced to 0 m.
- Maximum height: 2 storeys, corner units may be 3 storeys
- Corner units are to provide an architectural solution to the corner to avoid large, featureless end/ gable walls
- Parking on site to be accommodated in a tree-lined parking court
- Access to units to be from the tree-lined parking court
- Balconies overlooking the boulevard are encouraged
- The fencing on the open space side must be transparent for at least 50% of its length to accommodate the conflicting requirements for owner privacy and surveillance of public spaces
- Pedestrian gates in the fence on the open space side are permitted
- Pallisade fencing must be in accordance with the standard design
- Devices which promote surveillance over the site (such as balconies) are encouraged.

4.8 Planning

Planning should be sensible and offer a logical progression from public to private domains within the constraints created by the topography and the need to capitalise on views, natural features and access to sunlight.

4.8.1 Site Utilisation

Intent: *To ensure the optimum use of space and permit future growth; to define the boulevard space*

- Buildings should have street façade/s oriented parallel to the street boundary.
- Where this creates orientation problems they should be dealt with using architectural shading devices
- A tree-lined parking court, minimum width of 12 meters, is to be created in the centre of each site to accommodate on-site parking

4.8.2 Privacy

Intent: *To afford each property owner the right to visual privacy*

- The manner in which a site is developed must respect the visual privacy of the neighbouring residents

4.8.3 Height

Intent: *To create landmarks; to optimize surveillance over public space; to protect and frame views; to define strategic and important streets and spaces positively.*

- Units along the internal suburban street (Road 1): Maximum 2 storeys
- Units along boulevard (Road 7): Maximum 2 storeys
- Corner units along boulevard (Road 7): Maximum 3 storeys
- Boundary walls along boulevard: 2.0 meters
- Screen walls to drying yards: 2.0 meters.

4.8.4 Services Treatment

Intent: *To maintain a visual public environment that is uncluttered with poorly considered services*

- No surface-mounted drainage pipework apart from gutters and downpipes is permitted unless enclosed in a shaft or hidden from view
- No surface-mounted air conditioners are permitted within view from public spaces and street, unless screened or enclosed
- No satellite dishes or antennae are permitted within view from public spaces and street, unless screened or enclosed
- Refuse bins must be accommodated out of view from the public domain

4.8.5 Orientation & Fenestration

Intent: *To limit the waste of energy resulting from poor building orientation and fenestration*

- Where site optimization results in poor the use of external screens, shutters or architectural sun controls is strongly encouraged

4.8.6 Security

Intent: *To ensure that the public domain is secured by the constant surveillance of residents and users of the estate*

- Buildings that overlook public space must be fenestrated to afford surveillance thereof from within the building
- Security measures such as electric fencing, burglar bars etc. must be treated as architectural elements in their own right and must make a positive contribution to the look and feel of the building/s

4.8.7 Coverage

Intent: *To ensure sufficient public and private open space is achieved on the developed portion*

- Maximum coverage of 70%.

4.8.8 Bulk

Intent: *To ensure a sense of scale and context to the built portion*

- Bulk factor of 1.5

4.9 Scale & Proportion

Intent: *To promote richness, innovation and variety; to ensure an appropriate built fabric texture within the proposed density*

- Scale and proportion must be sensible and in keeping with the residential nature of the development

4.10 Exterior Material Use

Intent: *To promote richness & diversity; to complement the indigenous natural character of the place*

- Exterior materials should be chosen to minimize maintenance and complement the natural setting
- There are no restrictions on materials that may be used apart from the use of precast walling, as long as their use is complementary to the development
- No precast concrete walling is permitted

4.11 Colour Use

Intent:

To promote a harmonious visual environment; to discourage visual noise and clutter

- Colours should be subdued and strong colours considered a resource that must be used sparingly and for specific effect

4.12 Landscaping

Intent: *To enhance the indigenous character of the place; to protect natural veld; to encourage continuity of the natural system and ecological corridors. The infrastructural landscape is used to reinforce the spatial framework of the urban design, as does the conservation of sensitive natural landscapes.*

- No invasive exotic vegetation
- Exclusive use of indigenous plant types (see recommended list available)
- Local natural stone and textures strongly encouraged
- Swimming pool backwash to go to sewer in accordance with municipal regulations

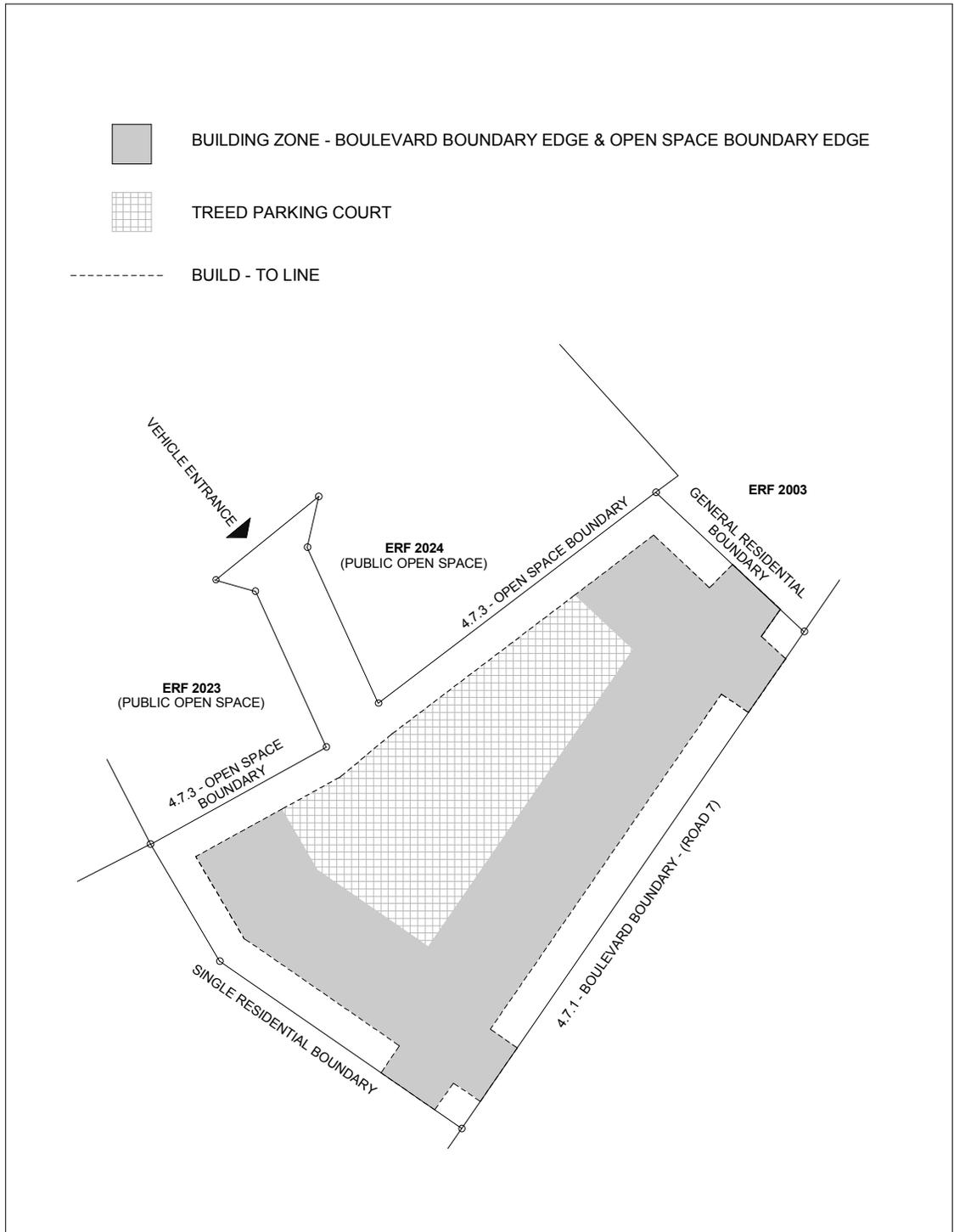
LOCALITY & SITE DEVELOPMENT CONSTRAINTS

5 LOCALITY & SITE DEVELOPMENT CONSTRAINTS



LOCALITY & SITE DEVELOPMENT CONSTRAINTS

5.1 Erf 2002



Elisenheim - Lifestyle Village Estate, Phase 2 - (General Residential)

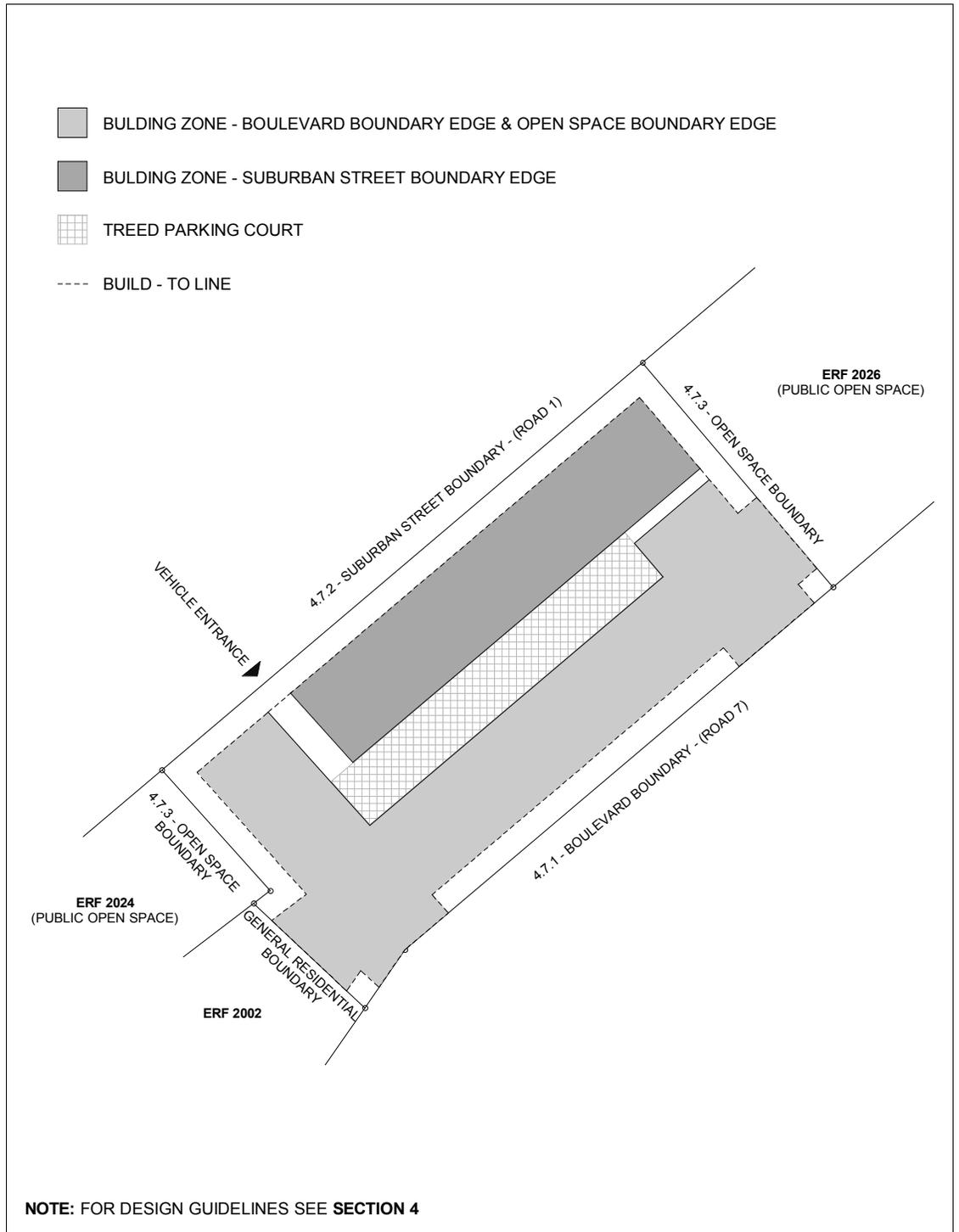
5.1 - LOCALITY & SITE DEVELOPMENT CONSTRAINTS

ERF 2002

1 : 750

LOCALITY & SITE DEVELOPMENT CONSTRAINTS

5.2 Erf 2003



Elisenheim - Lifestyle Village Estate, Phase 2 - (General Residential)

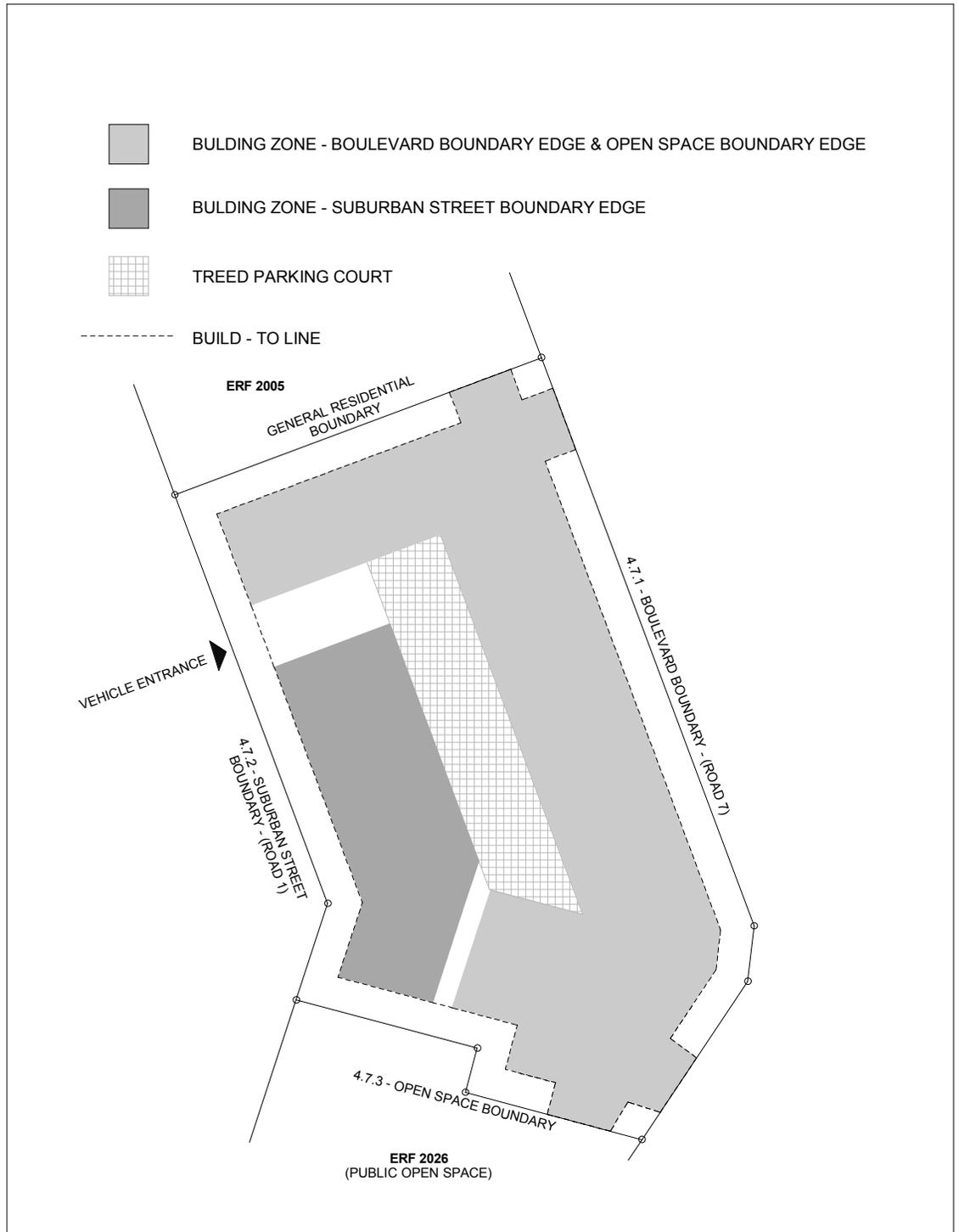
5.1 - LOCALITY & SITE DEVELOPMENT CONSTRAINTS

ERF 2003

1 : 1000

LOCALITY & SITE DEVELOPMENT CONSTRAINTS

5.3 Erf 2004



Elisenheim - Lifestyle Village Estate, Phase 2 - (General Residential)

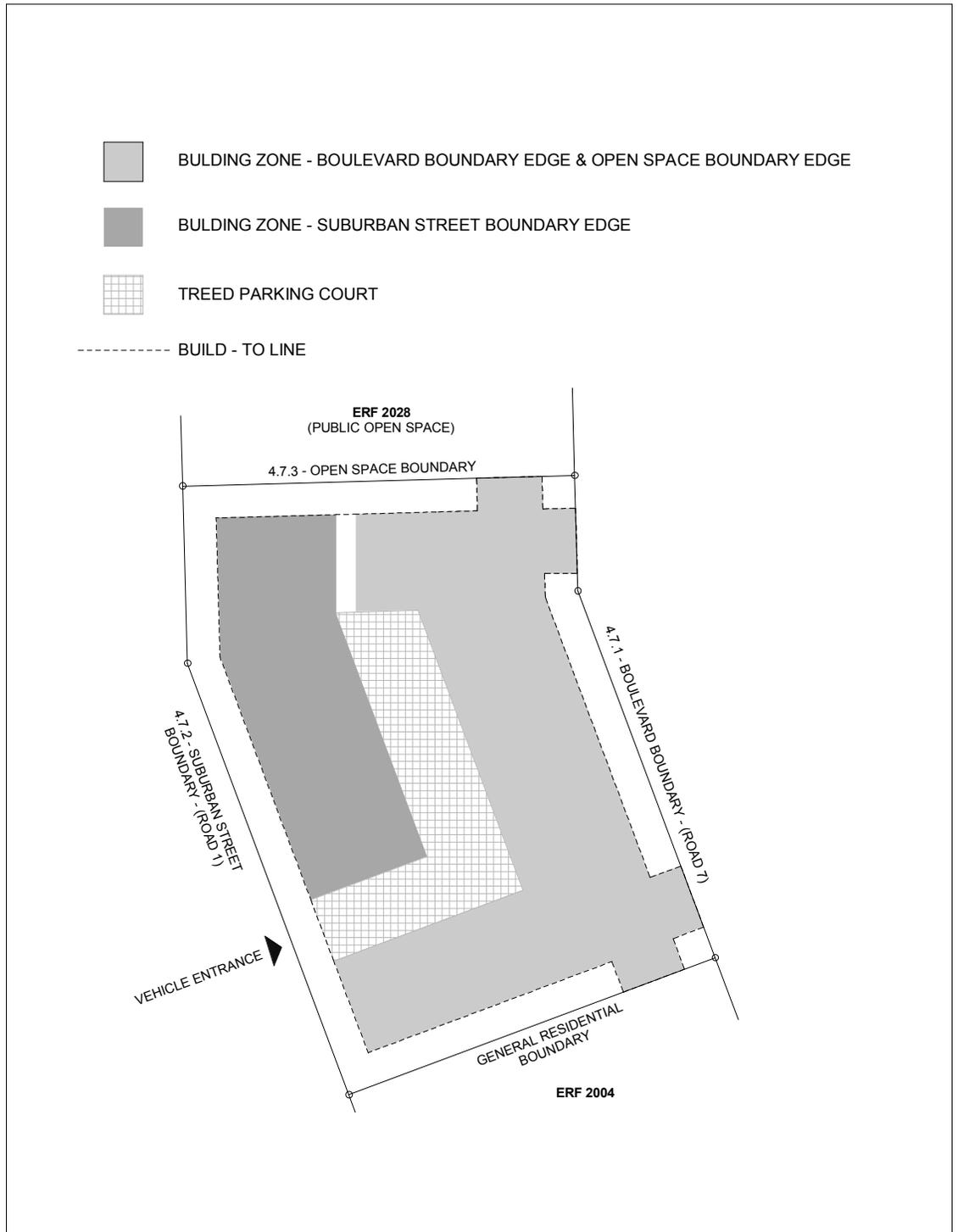
5.1 - LOCALITY & SITE DEVELOPMENT CONSTRAINTS

ERF 2004

1 : 750

LOCALITY & SITE DEVELOPMENT CONSTRAINTS

5.3 Erf 2005



Elisenheim - Lifestyle Village Estate, Phase 2 - (General Residential)

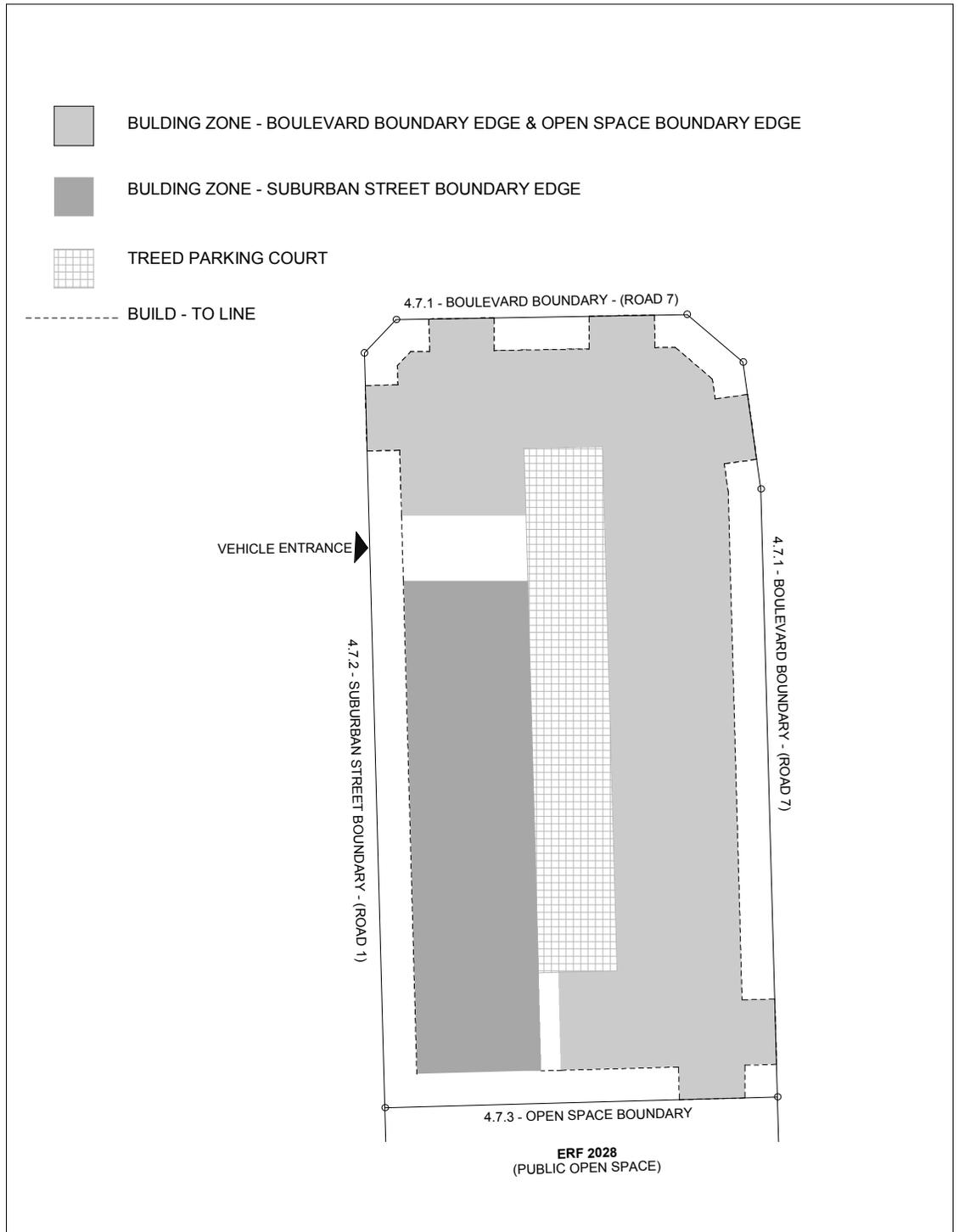
5.1 - LOCALITY & SITE DEVELOPMENT CONSTRAINTS

ERF 2005

1 : 750

LOCALITY & SITE DEVELOPMENT CONSTRAINTS

5.3 Erf 2006



Elisenheim - Lifestyle Village Estate, Phase 2 - (General Residential)

5.1 - LOCALITY & SITE DEVELOPMENT CONSTRAINTS

ERF 2006

1 : 750

Phase 2 Site Plan



KEY

- Single Residential
- Single Residential

- Single Residential
- Medium Density Residential



Commercial

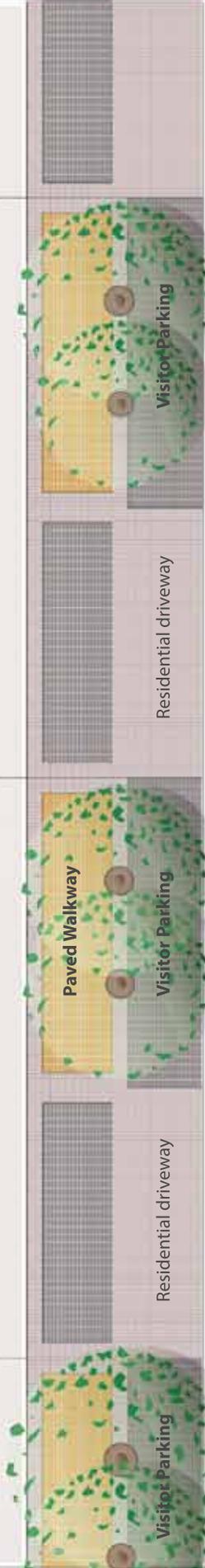


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Phase 2 typical 15m street plan detail

single residential

single residential



Residential driveway

Visitor Parking

Paved Walkway

Visitor Parking

Residential driveway

Residential driveway

Residential driveway

Residential driveway

single residential

single residential

single residential



KEY



Paving-01



Paving-02



Paving-03



River stones



NEIGHBOURHOOD LIVING IN THE COUNTRYSIDE

Phase 2 typical street corner detail



Public Open Space

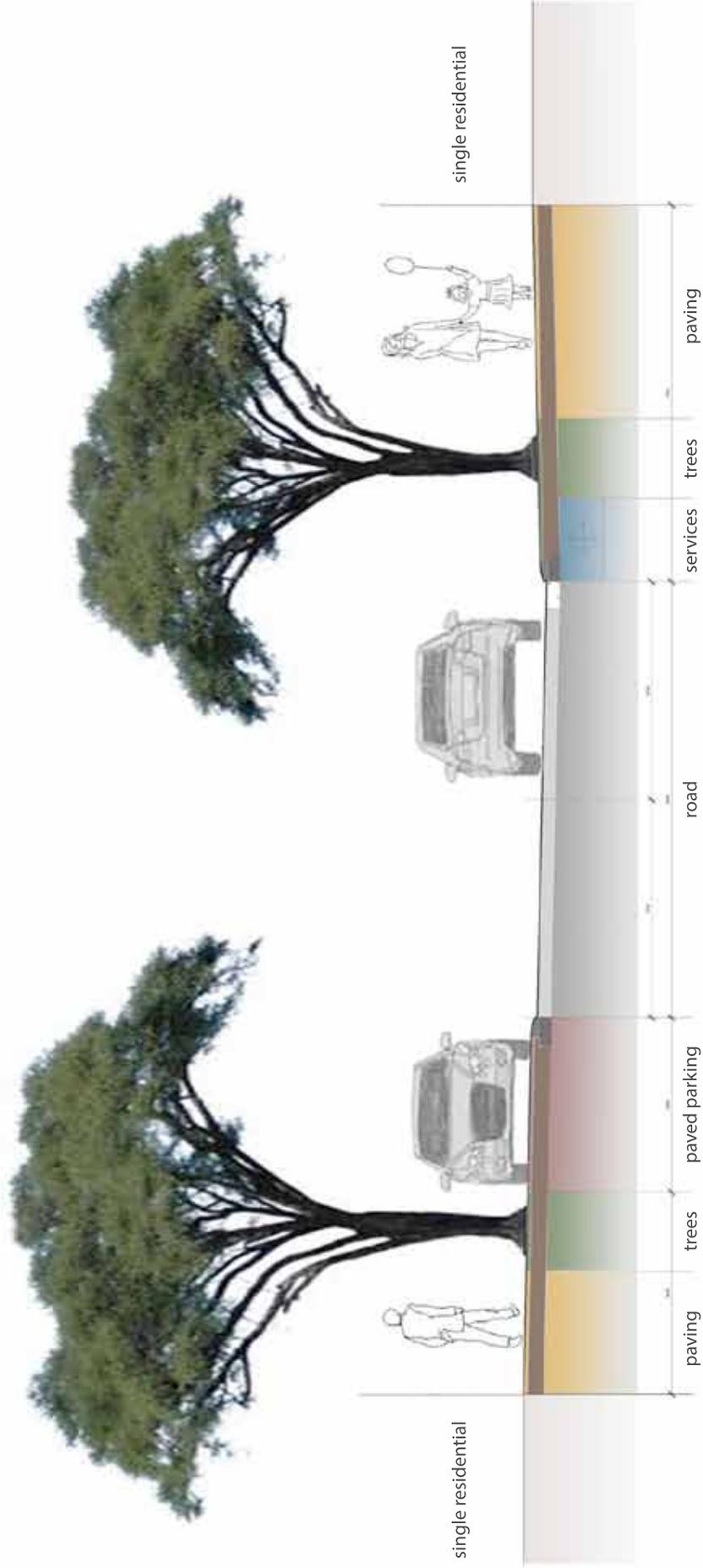
Single Residential

Single Residential

KEY

	Paving -01		Paving -02
	Paving -02		River stones

Phase 2 typical 15m street section detail



This section defines the main urban design, town planning and architectural controls that will be implemented during the Design Review process.

6.1 Municipal Controls

The City of Windhoek will implement the following controls in accordance with standard procedure:

- City of Windhoek Town Planning Scheme
 - o Land use/ zoning
 - o Maximum permissible coverage and density
 - o Building lines
 - o Parking requirements
- SABS 0400 deemed-to-satisfy requirements of the NBR ito:
 - o Structural design
 - o Dimensions
 - o Public safety
 - o Demolition
 - o Site operations
 - o Excavations
 - o Foundations
 - o Floors
 - o Walls
 - o Roofs
 - o Stairways
 - o Glazing
 - o Lighting & ventilation
 - o Drainage & Sanitary disposal
 - o Stormwater disposal
 - o Facilities for the disabled
 - o Fire protection
 - o Refuse disposal
 - o Space heating
 - o Fire installations

6.1.1 Zoning

Erf numbers 2002, 2003, 2004 2005 and 2006 are zoned General Residential

6.1.2 Coverage and Density

The above erven are to be developed to a maximum density of 1 unit per 250 m² of the site area.
Coverage is not to exceed 70% of the site area.

6.1.3 Building Lines

(See individual erf diagrams above)

6.1.4 On-site Parking

1 bay per equal or less than 3 bedroom unit, or 2 bays per equal or greater than 4 bedroom unit, plus 1 bay per 3 units or part thereof for visitors.

6.2 Design Review Committee Controls

The controls that will be implemented by the Design Review Committee are as listed in the Design Concept Approval Checklist attached in Appendix B and reflect the guidelines in the preceding section. These controls will be enforced within the context of the above guidelines at Concept Design stage and then again prior to application for Municipal Approval. It will not be possible to obtain Municipal Approval without Design Review Committee Approval.

It is the architect's responsibility to ensure that the approved design is implemented. The Homeowner's Association will control any discrepancies or deviations from the approved design at or following the completion of building operations.

APPENDIX A

URBAN DESIGN FRAMEWORK

Phase 2 Site Plan



KEY

 Single Residential	 Single Residential	 Commercial
 Single Residential	 Medium Density Residential	



DOCUMENT REQUIREMENTS & DESIGN CONTROL CHECKLIST

DESIGN REVIEW SUBMISSION REQUIREMENTS

Architects are required to submit the following electronic documents for the Design Review Committee records, at the following stages:

1.1 DESIGN CONCEPT STAGE

1.1.1 PROJECT DATA

- Project Data Sheet in MS Word .DOCX file format (Can be downloaded from Elisenheim Website at : www....)
- City of Windhoek zoning certificate (in the case of General Residential erven only)

1.1.2 PHOTOGRAPHS

- 5x digital photographs of the site prior to development (Photographs are to be in .JPG file format, max. size: 350Kb each)

1.1.3 SUBMISSION FEE

- A submission fee of N\$ 8 800 is payable by the owner upon project registration
- (Submission fee to be subsidised by Developer when making use of Lifestyle Architect)

1.1.4 DRAWINGS

- 1x Concept Site Plan
- Concept Floor plans of all levels
- 2x general arrangement 3D aerial perspective drawings of the project from opposite corners showing topography, massing, composition and openings in external envelope
- Concept Section showing natural ground level (Drawings are to be .PDF file format, max size: 2 Mb each and files are to be named with the Erf number as a prefix to the file name)

1.1.5 MATERIALS & COLOUR SCHEME

- External materials list with images of materials where appropriate
- External colour scheme with colour cards (Document is to be .PDF file format, max size 2Mb)

1.2 FINAL DESIGN STAGE

1.2.1 UPDATED DRAWINGS

- 1x Site Plan
- Floor plans of all levels
- 2x general arrangement 3D aerial perspective drawings of the project from opposite corners showing topography, massing, composition and openings in external envelope
- Section showing natural ground level (Drawings are to be .PDF file format, max size: 2 Mb each and files are to be named with the Erf number as a prefix to the file name)

1.2.2 UPDATED MATERIALS & COLOUR SCHEME

- External materials list with images of materials where appropriate
- External colour scheme (Document is to be .PDF file format, max size 2Mb)

DOCUMENT REQUIREMENTS & DESIGN CONTROL CHECKLIST**1.3 AS-BUILT STAGE****1.3.1 AS-BUILT DRAWINGS**

- 1x Site Plan
- Floor plans of all levels
- Section showing natural ground level
(Drawings are to be .PDF file format, max size: 2 Mb each and files are to be named with the Erf number as a prefix to the file name)

1.3.2 PROJECT DATA SHEET

- Updated Project Data Sheet in MS Word.DOCX file format

Note that at completion the duties of the Design Review Committee are concluded and future responsibility is transferred to the Elisenheim Owner's Association. Any discrepancies or deviations from the approved design are noted by the Design Review Committee and communicated to the Owner's Association for further action. All the project documentation is similarly issued to them for archiving and future reference.

DOCUMENT REQUIREMENTS & DESIGN CONTROL CHECKLIST

DESIGN REVIEW CONTROL & FINAL APPROVAL CHECKLIST	
CONTROL DESCRIPTION	COMMENT
Preservation of Natural Features	
Vegetation	
Rocks & topography	
Entrance/ Access points	
Level changes	
Street/ Erf boundary treatment	
Contribution to streetscape	
Visitor Parking	
Façade forms street boundary	
Visual access to P.O.S.	
Fencing type, extent and detail	
Planning	
Site Utilisation & Density	
Privacy of Neighbours	
Height	
Services: AC	
Services: Plumbing & Drainage	
Services: Refuse management	
Orientation & Fenestration	
Security	
Outbuildings	
Scale & Proportion	
Appropriateness	
Exterior Material use	
Appropriateness	
Maintenance	
Exterior Colour use	
Appropriateness	
Landscaping	
Indigenous planting	