

Elisenheim Lifestyle Village Estate

(Phase1)

Windhoek, Namibia.

Design Manual (DM)

Including Architecture, Urban Design and Landscaping (Annexure A)

With Construction Specifications (Annexure B)

Clause 12: Extensions and Additions – Revision and Elaboration

Introduction

From time to time, owners may wish to make alterations to the front of their buildings. Attention is drawn to the following quote drawn from section 2 (the purpose of this document) of the Controls and Guidelines;

“The administrative intention is to establish an aesthetic committee (the Design Review Panel) from the outset to oversee the quality of the development and to administer the controls and guidelines. All plans for new development, as well as for subsequent alterations and additions, must be submitted to, and approved by, this committee, the decisions of which are final.”

In short, all extensions, additions and alterations must follow precisely the same process as new development applications and are subject to precisely the same controls and guidelines. Failure to comply with these controls and guidelines will result in the removal of the alterations or additions, at the owner’s expense.

The Current Clause

The current clause on extensions and additions in the Design Manual relates to the following:

- Extensions and additions can only occur to the rear of the dwelling
- Materials and architectural character must match those of the primary dwelling

With the benefit of hindsight, there are a number of recurrent problems which are emerging with respect to ad hoc extensions, additions and alterations by some owners throughout phase 1. The clause has proved inadequate in dealing with the fronts of the dwelling units. Further elaboration of the controls and guidelines are therefore required and the purpose of the attached revision and elaboration is to set in place the necessary mechanisms to prevent repetition of recurring problems, especially in the fronts of the erven.

Updated Clause

The updated clause retains the first two sub-clauses and adds additional sub-clauses in relation to the fronts of the erven.

12.1 Extensions and additions can only occur to the rear of the dwelling.

12.2 Materials and architectural character must match those of the existing primary dwelling.

12.3 **The creation of a second driveway with associated gate enclosing element.**

The creation of a second driveway onto a single residential erf is generally not promoted. A second driveway could be considered in situations where the slope of the erf prohibits an acceptable vehicular turning circle or where a bulk infrastructure servitude (such as a main sewer line) prevents the erection of a structure resulting in limited space for vehicular storage.

The additional driveway must:

- respect the levels of the pedestrian sidewalk
- not interrupt the continuity of the pavement levels
- ensure that the level of the driveway at the point of intersection with the pavement does not exceed the height of the pavement.

The second driveway should cover the least amount of surface area within functional limits and not be wider than 2400mm.

The second driveway should not overpower the appearance of the main driveway and forecourt zone.

Should the purpose of the second driveway be to accommodate the on-site storage of boats and/or trailers, these must be screened by the use of sensitively designed gates, which should not protrude beyond the front facade of the dwelling unit.

The design and appearance of the gates should be background in nature and the choice of materials for the gates should be consistent with the approved palette of materials (eg. metal, timber, or artificial timber such as recycled plastic) for the fronts of the units.

12.4 **Carports and garages extensions.**

The extension of garages is not promoted, in particular towards the street. Garage extensions could be considered provided these do not project beyond the face of the front facade of the dwelling unit and may not be closer than 1500mm from the front boundary.

In the case of the suburban building type, the garage extension should not block the dominant front facade and forecourt zone from the street, thus compromising human surveillance of the public domain.

All extensions should use the same materials and building forms as the existing and original structures.

Carports should not be enclosed, thereby blocking views of the streets from the dwelling unit. The supports of the carport roof should be masonry piers matching the common architectural language of the stoep.

Generally carports should have a mono-pitch corrugated iron roof (the same as the main dwelling) or shade netting, manufactured and installed by accredited suppliers and in accordance with the colour code approved by the Homeowner's Association. Intended carport structures should be submitted to the Homeowner's Association for review and approval.

Metal supports for the carports are not permitted.

12.5 **The use of masonry side walls on the side boundaries beyond the main street-facing facade of the dwelling unit and garages.**

This walling should conform to the municipal fire regulations. The space between the end of the fire walling and the front boundary should be in the form of a low masonry wall not exceeding 700mm in height.

12.6 **Boundary palisade fencing being used past the front edge of the main street facade of the building.**

In situations where palisades have been used as side boundary fencing overlooking public open space, the palisade should not be taken beyond the front street facade of the building. Rather, a solid wall should be penetrated by a pedestrian-scaled gate to the side-space. This wall should form part of the wall architecture of the building.

12.7 **Front boundary.**

Front boundaries should reflect two characteristics:

- A low masonry wall plinth base not exceeding 700mm in height
- Transparent material above the plinth wall to facilitate surveillance and visual street contact. The total boundary structure should not exceed 1800mm in height.

Palisade fencing is not the preferred practice. The potential problems associated with the use of palisades are:

- If the palisade fence is spiked, it represents a safety hazard to small children climbing or playing on or near them;
- If the palisade fencing struts are too close together, they create a visual effect of solid corrugated iron when viewed from a distance;

The preferred practice is to use the same handrail language and detail system as that used for the covered stoeps (albeit much denser). Whatever the transparent painted metal material used, two principles must be respected:

- Masonry piers should not be used;
- The structural support members for the infill fencing should be the same material as the fence itself.

12.8 Electrical equipment, TV antennas and satellite dishes

No electrical equipment, TV antennas or satellite dishes may be attached to the street-facing facades or be installed in the front zone of the erf. These should be set back along the side walls, by at least 5m from the street-facing facade of the dwelling unit.

12.9 Electrical security fencing

No electrical security fencing is allowed in the front zone of the erf.

12.10 Colour

Fencing, balustrading and electrical security fencing should not be painted white. The approved colour is medium grey as stipulated in the Homeowner's Association manual.

12.11 Surface treatment.

Surface treatment for hard and soft landscaped areas in the front zone of the erf should be in accordance with clause 7 on landscaping in the Design Manual. Local natural stone and textures are promoted. Light contrasting colours, including white are not permitted.

12.12 Approval of extensions, additions and alterations.

The required documentation indicating any extensions, additions and alterations to any erf should be submitted to the design review committee for comment and approval. Final approval by the Homeowners Association must be received in stamped form, before being submitted for Municipal approval by the owner or representative.

The above should be read in conjunction with the attached diagrams on the following two pages.

Figures 1 and 2 below show permissible and not permissible design variations which may be applied to the front of the erf and related boundary conditions.

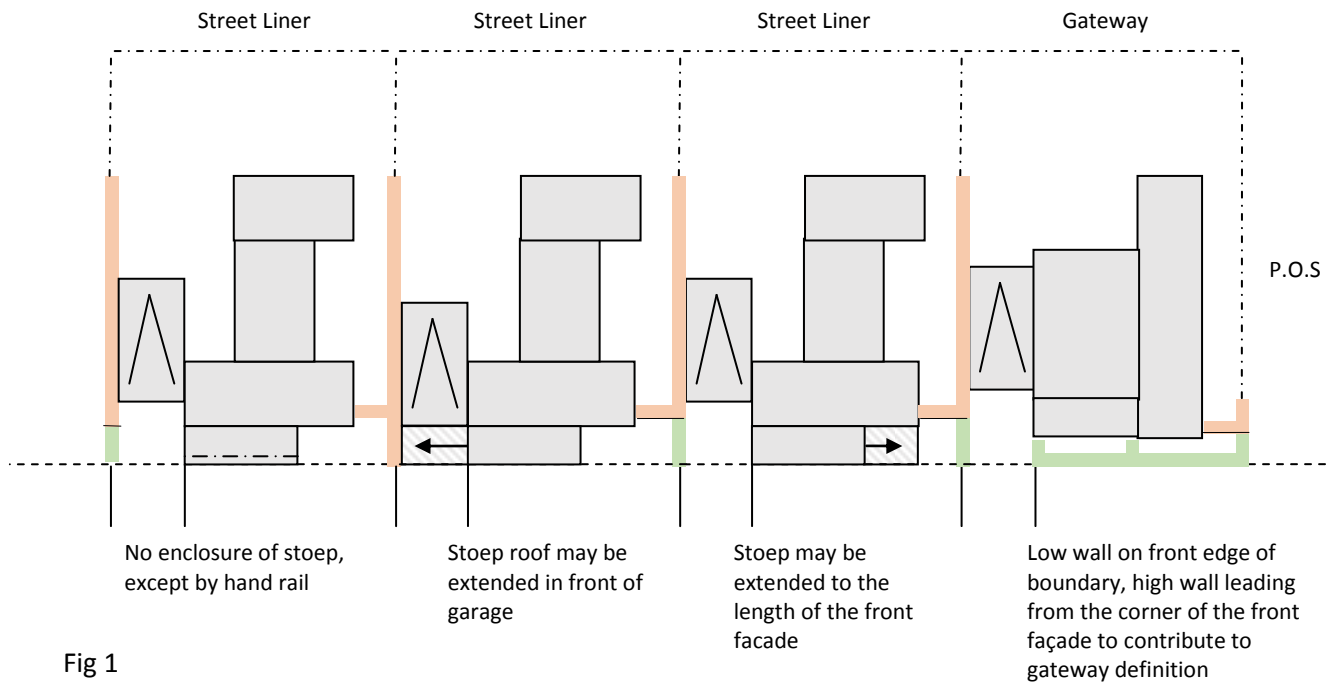


Fig 1

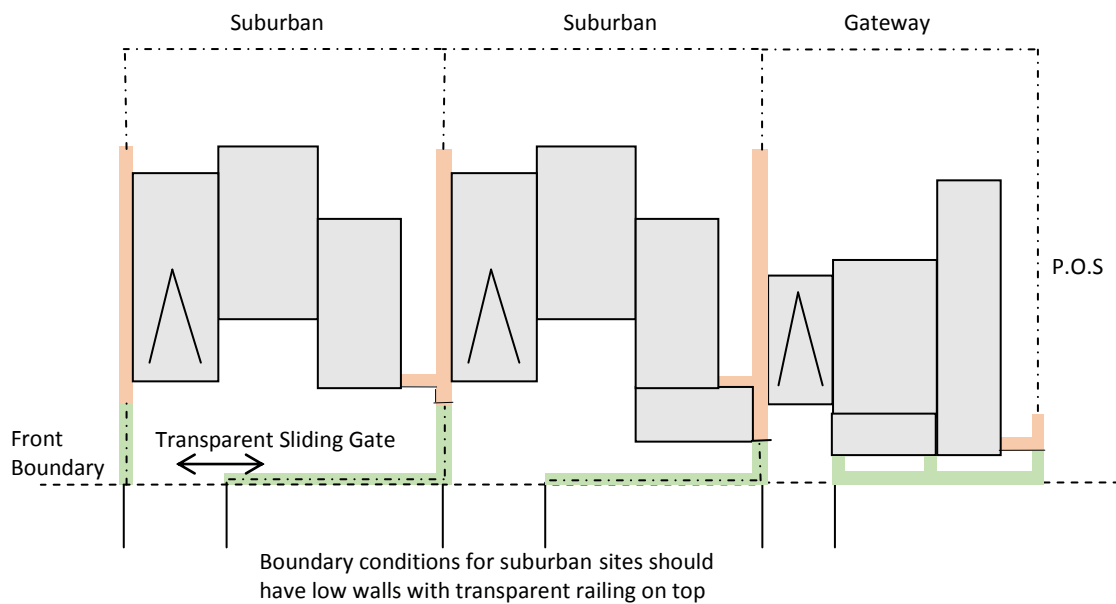


Fig 2

Key for above sketches:

High Boundary Wall, 2100mm max height.	Rear Boundary Transparent Fencing, 2100mm max height.
Low Front Boundary Wall, 700mm max height.	Low Front Boundary Wall, with transparent fencing.

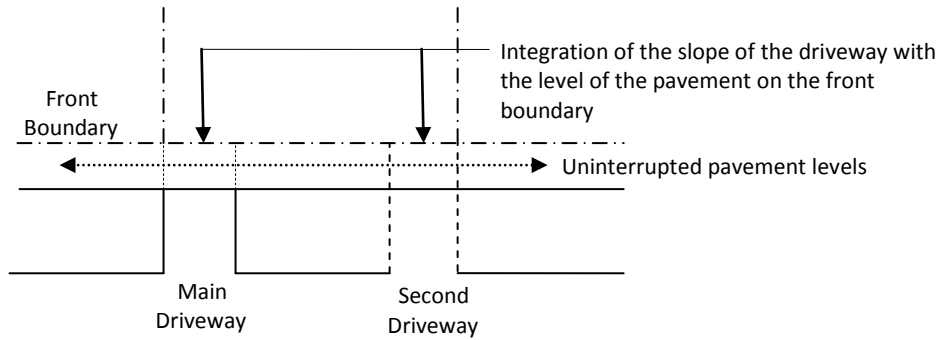


Fig 3: Driveways should not interrupt the continuity of the levels of the pavement

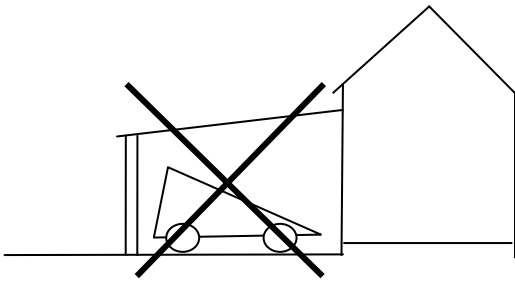


Fig 4: No garage extensions are permitted beyond the front street-facing facade of the dwelling unit

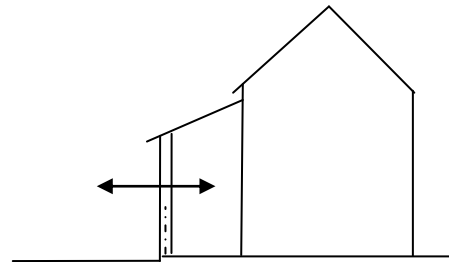


Fig 5: No enclosure of the stoep, except by the handrail.

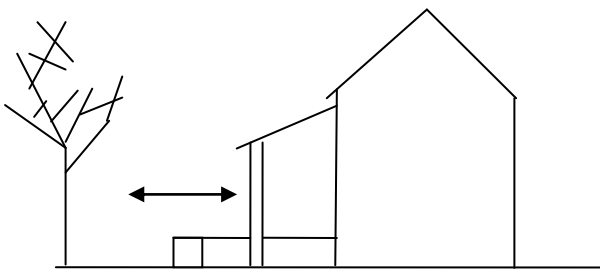


Fig 6: Low walls on front boundaries to retain the visual connection to the street

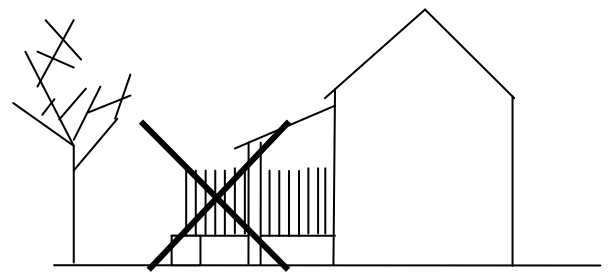


Fig 7: No palisade fencing permitted on the front / street boundary

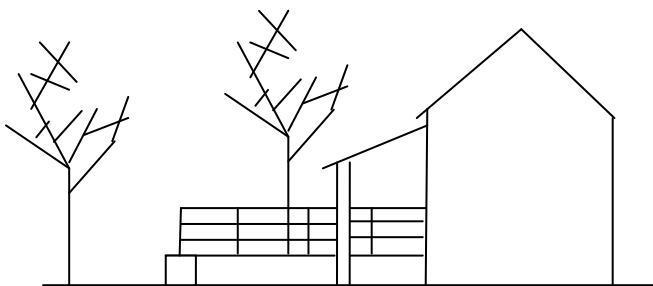


Fig 8: The preferred street boundary condition should include a low stub wall (max 700mm). Metal rails may be secured to the top of the low stub wall but must match the stoep handrails. The preferred spacing of the horizontal members is 150mm with supports of the same material as the fence itself. Masonry piers are not permitted.

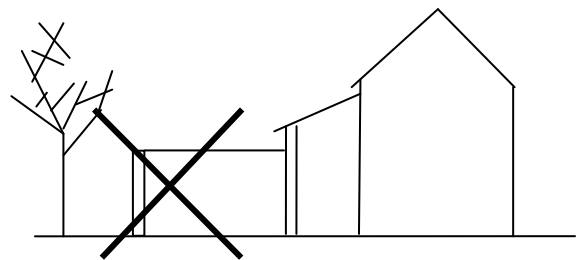


Fig 9: No high walls on the street boundary